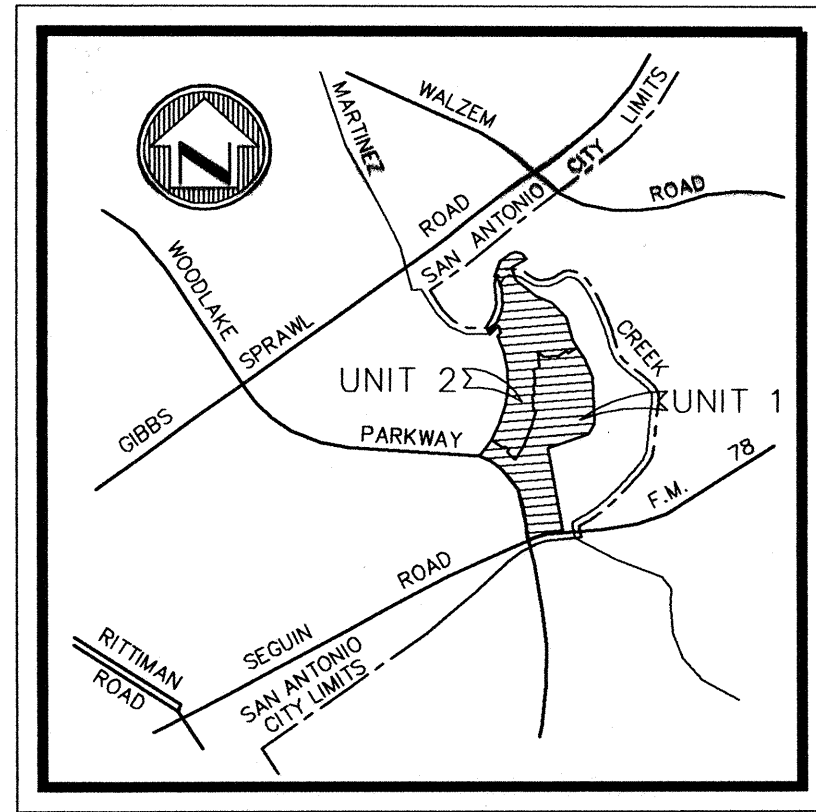
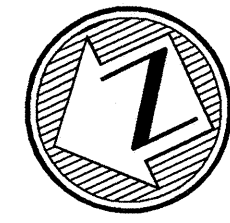


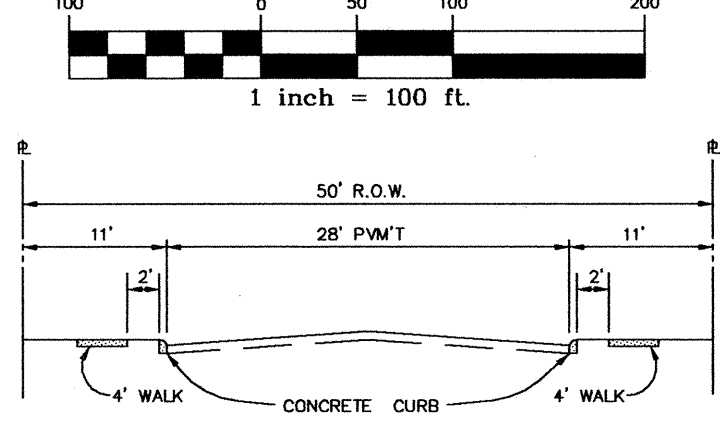
NOTE: LOT 1, BLOCK 01 IS A PRIVATE STREET AND ALSO A WATER, ELECTRIC, SANITARY SEWER, TELEPHONE, CABLE C.V. & DRAINAGE EASEMENT.
 LOTS 99 & 100, BLOCK 02 ARE G.E.T.V., WATER, DRAINAGE EASEMENTS & OPEN SPACES.
 LOTS 101, 102, 103 & 104, BLOCK 02 ARE DRAINAGE EASEMENTS & OPEN SPACES.



LOCATION MAP
NOT TO SCALE



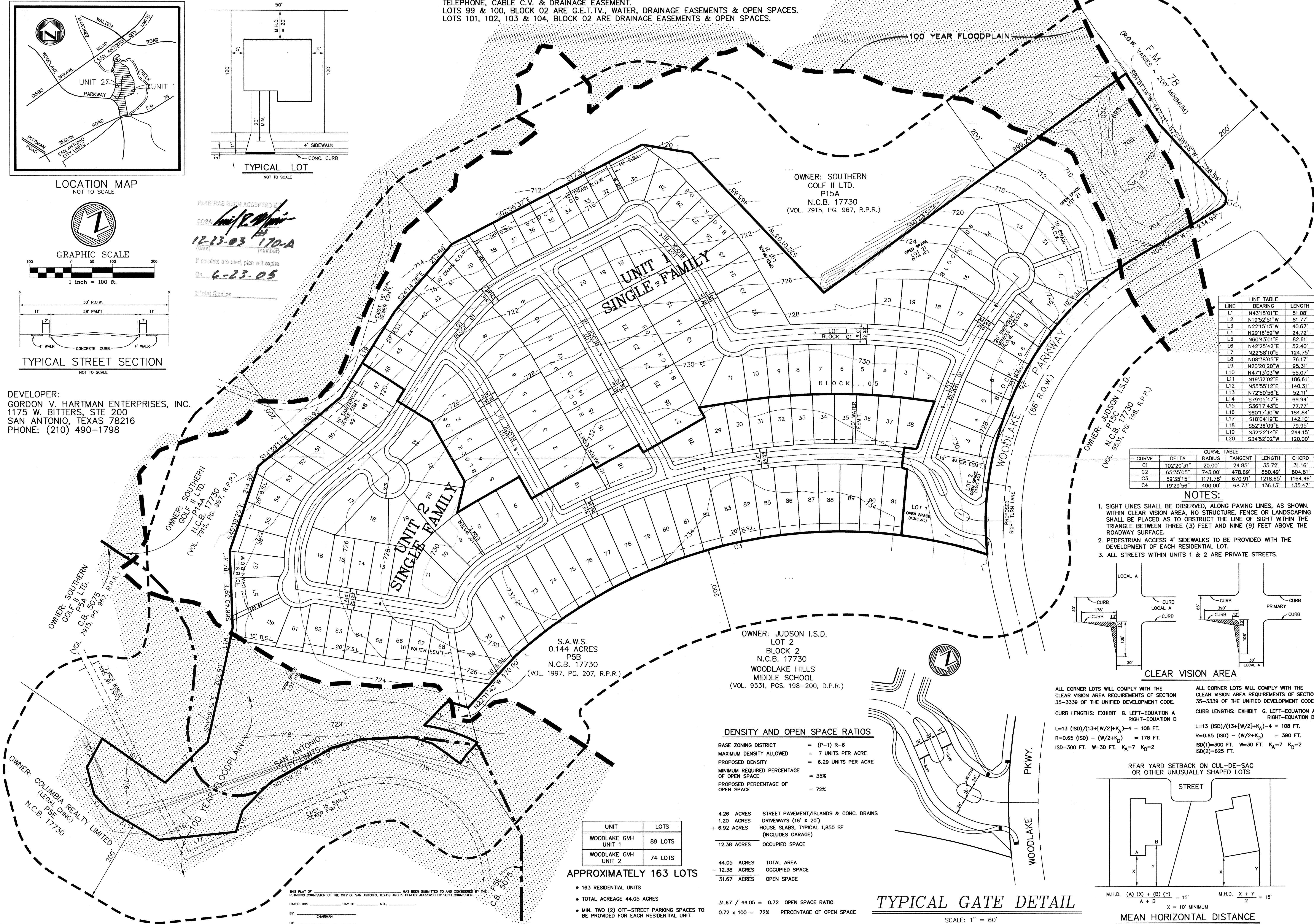
GRAPHIC SCALE
1 inch = 100 ft.



TYPICAL STREET SECTION
NOT TO SCALE

DEVELOPER:
 GORDON V. HARTMAN ENTERPRISES, INC.
 1175 W. BITTERS, STE 200
 SAN ANTONIO, TEXAS 78216
 PHONE: (210) 490-1798

PLAN HAS BEEN ACCEPTED BY
 12-23-03 170-A
 (date) (number)
 If no plans are filed, plan will expire
 On 6-23-05
 (date filed on)



OWNER: SOUTHERN
 GOLF II LTD.
 P15A
 N.C.B. 17730
 (VOL. 7915, PG. 967, R.P.R.)

OWNER: JUDSON I.S.D.
 LOT 2
 BLOCK 2
 N.C.B. 17730
 WOODLAKE HILLS
 MIDDLE SCHOOL
 (VOL. 9531, PGS. 198-200, D.P.R.)

S.A.W.S.
 0.144 ACRES
 P5B
 N.C.B. 17730
 (VOL. 1997, PG. 207, R.P.R.)

OWNER: COLUMBIA REALTY LIMITED
 (LEGAL CHNG)
 N.C.B. 17730

UNIT	LOTS
WOODLAKE GVH UNIT 1	89 LOTS
WOODLAKE GVH UNIT 2	74 LOTS

APPROXIMATELY 163 LOTS

- 163 RESIDENTIAL UNITS
- TOTAL ACREAGE 44.05 ACRES
- MIN. TWO (2) OFF-STREET PARKING SPACES TO BE PROVIDED FOR EACH RESIDENTIAL UNIT.

DENSITY AND OPEN SPACE RATIOS

BASE ZONING DISTRICT	= (P-1) R-6
MAXIMUM DENSITY ALLOWED	= 7 UNITS PER ACRE
PROPOSED DENSITY	= 6.29 UNITS PER ACRE
MINIMUM REQUIRED PERCENTAGE OF OPEN SPACE	= 35%
PROPOSED PERCENTAGE OF OPEN SPACE	= 72%

4.26 ACRES	STREET PAVEMENT/ISLANDS & CONC. DRAINS
1.20 ACRES	DRIVEWAYS (16' x 20')
+ 6.92 ACRES	HOUSE SLABS, TYPICAL 1,850 SF (INCLUDES GARAGE)
12.38 ACRES	OCCUPIED SPACE
44.05 ACRES	TOTAL AREA
12.38 ACRES	OCCUPIED SPACE
31.67 ACRES	OPEN SPACE

31.67 / 44.05 = 0.72 OPEN SPACE RATIO
 0.72 x 100 = 72% PERCENTAGE OF OPEN SPACE

TYPICAL GATE DETAIL

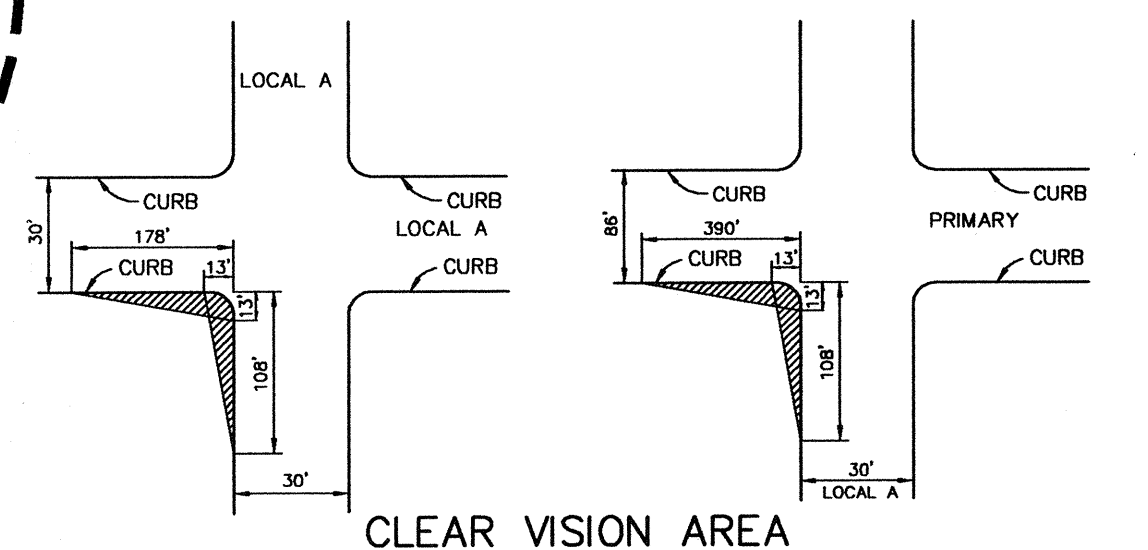
SCALE: 1" = 60'

LINE	BEARING	LENGTH
L1	N43°15'01"E	51.08'
L2	N19°52'51"W	81.77'
L3	N22°15'15"W	40.67'
L4	N29°16'59"W	24.72'
L5	N60°43'01"E	82.61'
L6	N42°25'42"E	52.40'
L7	N22°58'10"E	124.75'
L8	N08°38'05"E	76.17'
L9	N20°20'20"W	95.31'
L10	N47°13'03"W	55.07'
L11	N19°32'02"E	186.61'
L12	N55°55'12"E	140.31'
L13	N72°50'56"E	52.11'
L14	S79°05'47"E	69.94'
L15	S36°17'43"E	77.77'
L16	S60°17'30"W	184.84'
L17	S18°04'19"E	142.10'
L18	S32°36'09"E	79.95'
L19	S32°22'14"E	244.15'
L20	S34°52'02"W	120.00'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	102°20'31"	20.00'	24.85'	35.72'	31.16'
C2	65°35'05"	743.00'	478.69'	850.49'	804.81'
C3	59°35'15"	1171.78'	670.91'	1218.65'	1164.46'
C4	19°29'56"	400.00'	68.73'	136.13'	135.47'

NOTES:

- SIGHT LINES SHALL BE OBSERVED, ALONG PAVING LINES, AS SHOWN, WITHIN CLEAR VISION AREA, NO STRUCTURE, FENCE OR LANDSCAPING SHALL BE PLACED AS TO OBSTRUCT THE LINE OF SIGHT WITHIN THE TRIANGLE BETWEEN THREE (3) FEET AND NINE (9) FEET ABOVE THE ROADWAY SURFACE.
- PEDESTRIAN ACCESS 4' SIDEWALKS TO BE PROVIDED WITH THE DEVELOPMENT OF EACH RESIDENTIAL LOT.
- ALL STREETS WITHIN UNITS 1 & 2 ARE PRIVATE STREETS.

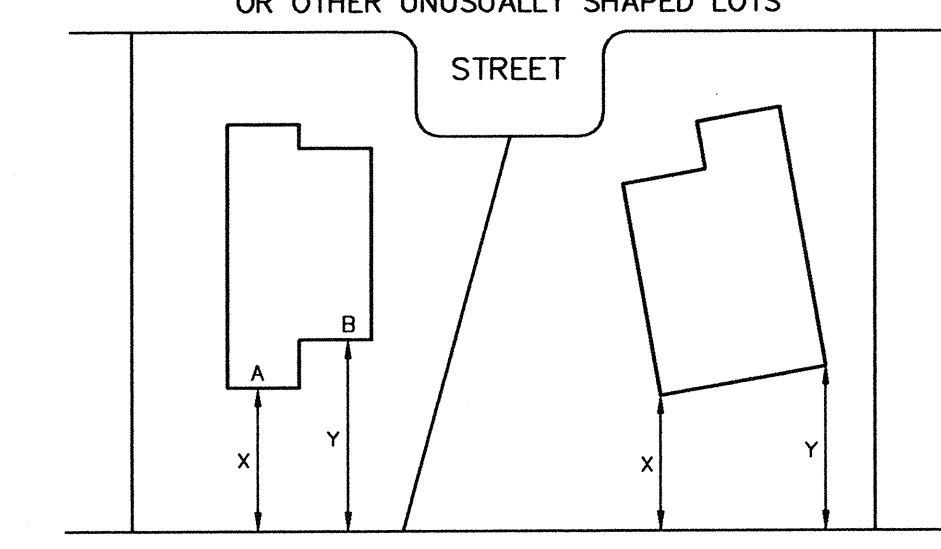


CLEAR VISION AREA

ALL CORNER LOTS WILL COMPLY WITH THE CLEAR VISION AREA REQUIREMENTS OF SECTION 35-3339 OF THE UNIFIED DEVELOPMENT CODE.
 CURB LENGTHS: EXHIBIT G, LEFT-EQUATION A RIGHT-EQUATION D
 $L=13 \text{ (ISD)} / (1/3 + [W/2 + K_d] - 4) = 108 \text{ FT.}$
 $R=0.65 \text{ (ISD)} - (W/2 + K_d) = 178 \text{ FT.}$
 $ISD=300 \text{ FT. } W=30 \text{ FT. } K_d=7 \text{ } K_p=2$

ALL CORNER LOTS WILL COMPLY WITH THE CLEAR VISION AREA REQUIREMENTS OF SECTION 35-3339 OF THE UNIFIED DEVELOPMENT CODE.
 CURB LENGTHS: EXHIBIT G, LEFT-EQUATION A RIGHT-EQUATION D
 $L=13 \text{ (ISD)} / (1/3 + [W/2 + K_d] - 4) = 108 \text{ FT.}$
 $R=0.65 \text{ (ISD)} - (W/2 + K_d) = 390 \text{ FT.}$
 $ISD(1)=300 \text{ FT. } W=30 \text{ FT. } K_d=7 \text{ } K_p=2$
 $ISD(2)=625 \text{ FT.}$

REAR YARD SETBACK ON CUL-DE-SAC OR OTHER UNUSUALLY SHAPED LOTS



M.H.D. (A) (X) + (B) (Y) = 15'
 A + B
 X = 10' MINIMUM
 MEAN HORIZONTAL DISTANCE

"A PLANNED UNIT DEVELOPMENT"
 MDP/ P.U.D. PLAN
 for

WOODLAKE GVH SUBDIVISION
 BEING 44.05 ACRES OF LAND IN N.C.B. 17730,
 SAN ANTONIO, BEXAR COUNTY, TEXAS.

W.F. CASTELLA & ASSOCIATES, INC. - Planners
 Engineers - Surveyors
 6800 Park Ten Blvd., Suite 180 South - San Antonio, Texas 78213 - (210)734-5351

REVISIONS:
 09/24/02 - LOT REVISIONS
 BLOCK 6
 12/11/03 - TITLE BLOCK
 REVISIONS
 1/05/04 - LOCATION MAP
 REVISION

JOB NO. 035247028.0030
 FILE:
 DATE: 06/05/02
 DESIGN: L.R.
 DRAWN: O.T.
 CHECKED:
 SHEET 1 OF 1



City of San Antonio
NEW U.D.C.
Master Development Plan and P.U.D.
APPLICATION

Date Submitted:

Project ID Number:

Project Name: WOODLAKE GVH PLD/POADP # 170A

Owner/Agent: GORDON V. HARTMAN Phone: 4901798 Fax: 4994635

Address: 1175 W. BITTERS STE 200 Zip code: 78216

Engineer/Surveyor: W.F. CASTELLA & AS Phone: 7345351 Fax: 7345363

Address: 6800 PARK TEN BLVD STE 1809 Zip code: 78213

Existing legal Description (PUD Only): 44.05 AC. OUT OF NCB 17730

Existing zoning: RG

Proposed zoning: (P1) RG

(PUD Only) Linear feet of street 5750

☒ Gated ☐ Un-Gated
☐ Attached ☒ Detached

(PUD Only) Number of lots: 163 divided by acreage: 44.05 = Density: 3.7 UNITS/AC

(PUD Only) Total open space: 31.67 divided by total acreage: 44.05 = Open space 72 %

(PUD Only) Type of gate(guard/mag card/key/transmitter/etc.): TRANSMITTER

(PUD Only) Construction start date: _____

(PUD Only) X/Y coordinates at major street entrance: X: 2,207,754 Y: 601,434

Site is over/within/includes:

Edwards Aquifer Recharge Zone: ☐ Yes ☒ No

San Antonio City Limits? ☒ Yes ☐ No

Projected # of Phases: 2

Council District: 2 School District: JUDSON Ferguson map grid: 585 F4

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
02 JUN - 6 AM 11:31

City of San Antonio
NEW U.D.C.
Master Development Plan and P.U.D.
APPLICATION
(Continued)

Is there a previous Master Development Plan (a.k.a. POADP) for this Site?

Name WOODLAKE No. 170

Is there a corresponding PUD for this site? Name NA No. _____

Plats associated with this Master Development Plan (a.k.a. POADP) or site?

Name _____ No. _____

Name _____ No. _____

Name _____ No. _____

Contact Person and authorized representative:

Print Name: LEE WRIGHT

Signature: 

Date: 5/16/02

Phone: 296 2139

Fax: 734 5363

Master Development Plan and P.U.D.
Technical Review

- ☒ Name of the Master Development Plan or P.U.D. and the subdivision;
- ☐ City assigned Plan ID number;
- ☒ Name and address of owner of record, developer and engineer;
- ☒ The name names of all adjacent property owners as shown on current tax records;
- ☐ Certificate of agency or power of attorney if other than owner;
- ☒ Signature blocks for the chairperson and secretary (Planning director or assignee);
- ☐ (PUD ONLY) Proposed covenants on the property, if any, including a map and legal description of area affected;
- ☐ Two points identified by Texas Planes Coordinates;
- ☐ Basis of bearing used and a north point;
- ☐ Boundary of the development and total acreage encompassed, thereby described and mapped at and appropriate scale;
- ☒ (MDP ONLY) topographic contour lines no greater than ten (10) feet;

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
02 JUN - 6 AM 11:31

City of San Antonio
NEW U.D.C.
Master Development Plan and P.U.D.
Technical Review
(Continued)

- ☒ (PUD ONLY) Existing topography with maximum contour intervals of two (2) feet, except where existing ground is on a slope of less than five percent (5%) then either one foot contours or spot elevation shall be provided where necessary;
- ☒ Date of preparation;
- ☒ Graphic and written scale and north arrow;
- ☒ A location map at a scale not less than 1"= 2,000 indicating the location and distance in relation to adjacent streets and all surrounding Major Thoroughfares. The location map is to be located in the top left hand corner of the sheet;
- ☒ Total area of property;
- ☒ All existing easements or right-of-way with street names impacting the development area, their nature and width;
- ☒ The approximate location and widths of all proposed public and private streets major thoroughfares, collectors and local B streets within the developments boundaries;
- ☒ (PUD ONLY) The location of all proposed uses or zoning classification as applicable and the maximum allowable intensity (residential density or non-residential FAR);
- ☒ (MDP ONLY) The location and general nature of proposed uses and proposed intensity (residential density or non-residential FAR)
- ☐ (PUD ONLY) Notation of any restrictions required by the City Council in accordance with this Ordinance;
- ☒ The location and dimension of all proposed adjacent roadways, whether existing or proposed;
- ☐ (PUD ONLY) The location and dimension of all proposed or existing lots.
- ☒ The location, dimensions, and area of all parcels of land proposed to be set aside for park or playground use or other public, or for the use of property owners in the proposed subdivision, where applicable.
- ☒ A development phasing schedule including the sequence for each phase; approximate size in area of each phase; and proposed phasing of construction of public improvements, recreation and common open space areas.
- ☒ The schematic of all existing and proposed streets, as well as proposed access points.
- ☒ The schematic location of the pedestrian circulation system including walkways and bicycle paths where applicable.
see note 2
- ☐ (Conservation Subdivisions Only) A slope analysis of the proposed development site showing slopes for the following percent of existing grades: 0-10%, 21-30%, 31-40%, and slopes exceeding 40%, including a tabulation of the number of acres in each slope percentage.
- ☐ A delineation of EARZ, wetlands and floodplains. Conservation Subdivision and PUD Plans shall also delineate Woodlands.
- ☒ The location, acreage, category and type of improvements if any for active and passive open space, including greenbelt and active recreation space areas, private recreational areas.

City of San Antonio
NEW U.D.C.
Master Development Plan and P.U.D.
Technical Review
(Continued)

- ☒ (PUD ONLY) Tabulation of the number of acres in the proposed development, showing the total number of lots and area of open space for the site including the following:
- (a) square footage of all buildings and structures
 - (b) for non-residential uses, multi-family dwellings, and any portion of a site located within the EARZ, the approximate location and area of impervious cover.
- ☒ A final statement in tabular form which sets forth the following data, when such data is applicable to a given development plan:
- (a) total number of dwelling units, by development phase.
 - (b) Residential density and units per acre.
 - (c) (PUD Only) Total floor area ratio for each type of use.
 - (d) Total area in passive open space.
 - (e) Total area in active developed recreational open space.
 - (f) Total number of off-street parking and loading spaces.
- ☒ Traffic Impact Analysis (section 35-502).
- ☐ (PUD Only) Utilities plan.
- ☒ (M.D.P. Only) Location of property lines, existing easements, burial grounds, railroad rights-of-way, watercourses; location, width, and names of all existing or platted streets or other public ways within or immediately adjacent to the tract; names of adjacent property owners or subdivision from the latest certified assessment rolls.
- ☐ (PUD Only) Lots numbered as approved by the City.
- ☒ (PUD Only) Layout shall show where lot setbacks as required.
- ☐ Location and size in acres of school sites, as applicable.
- ☒ The exterior boundaries as indicated from deeds or other instruments of the development area giving lengths and bearings of the boundary lines, if the proposed development is bounded by a watercourse, a closing meander traverse of that boundary shall be made and shown on the site plan. Where curving boundaries are used, sufficient data to establish the boundary on the ground shall be given; including the curve's radius, central angle and arc length.
- ☐ A stormwater management plan (section 35-B119)

I certify that the Master Development Plan / PUD Plan application and accompanying maps are complete and that the conditions listed on this application have been met.

Certifying Representative:

Print Name: Lee Wright

Signature: 

AGENT

If you have any questions please call Michael O. Herrera at 207-7900
APPLICATION REVISED June 4, 2001

June 9, 2001

Page 4 of 4



CITY OF SAN ANTONIO

December 23, 2003

Mr. Lee Wright

W.F. Castella Engineers
6800 Park Ten Blv'd, Suite 180 S.
San Antonio, TX 78213

Re: Woodlake GVH

MDP # 170-A

Dear Mr. Wright:

The City Staff Development Review Committee has reviewed Woodlake GVH Master Development Plan M.D.P. # 170-A. Please find enclosed a signed copy for your files. Your plan was accepted, however please note the following:

- In consideration of public safety and convenience, excessive grades by reason of topography should be avoided in street layouts and arrangements.
- Any access and R.O.W. issues along state facilities will need to be resolved with the Texas Department of Transportation (TXDOT). For information about these requirements you can contact TXDOT at 615-5814.
- This development will need to comply with tree preservation ordinance #85262. For information about these requirements you can contact Building Inspections at 207-7102.
- It will be expected that you will plat all of the property depicted in your Master Development Plan (M.D.P.) to include floodplains, drainage areas and open space.
- I would encourage you to work closely with the school district, so that they can plan accordingly.
- Development Services, TIA Engineering Section has reviewed the Level-1 traffic Impact analysis (TIA) for subject project. The analysis is in compliance with the TIA Ordinance 91700. As part of their conditional approval, the following conditions shall be met by the developer at the time of final plat submittal

Mr. Wright
Page 2
December 23, 2003

This property is proposed to consist of 163 single family detached homes within a gated community. Base on the 6th edition of the ITE trip generation Manual, this property is estimated to generate 117 peak hour trips. One primary entrance is proposed to be a four-lane, divided collector section, intersecting Woodlake Parkway approximately 1,000 feet north of FM 78.

1. A right-turn lane shall be provided for the northbound primary entrance.
 2. The emergency access shall be maintained by the home Owners Association.
- The Parks and Recreation Department cites the following:
The applicant has selected to pay the fee in-lieu of park dedication. The proposed subdivision will have a total of 163 lots. Based on a per acre cost of \$2,269.75, the total fee due is \$3,404.63. Prior to recordation of the first plat filed under this plan, payment in the amount of \$3,404.63 is due the Parks and Recreation Department.

Please note that this action by the committee does not establish any commitment for the provision of utilities, services or zoning of any type now or in the future by the City of San Antonio. If the proposed development is not platted in phases this Master Development Plan M.D.P. will be invalid.

All Platting will have to comply with the Unified Development Code, Master Plan and Major Thoroughfare Plan for the city of San Antonio.

If you have any questions regarding this matter, please contact Mr. Michael O. Herrera, at (210) 207-7873.

Sincerely,



Emil R. Moncivais AIA, AICP
Director, Planning Department

EM/MH. Jr.

cc: Richard De La Cruz, P.E. Senior Engineer Development Services
John McDonald, Senior Planner Parks Department
Arturo Villarreal Jr., P.E. Storm Water Engineering



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

RECEIVED OCT 15 2002

(Check One)

Date: 10-7-02

- ☒ Master Development Plan (MDP) (Formerly POADP) ☐ P.U.D. Plan
- ☐ MDP/ P.U.D. Plan (combination) ☐ Mixed Used District (MXD)
- ☐ Master Plan Community District (MPCD) ☐ Military Airport Overlay Zone (MOAZ)
- ☐ Traditional Neighborhood Development (TND) ☐ Manufactured Home Park Plan (MHPP)
- ☐ Plat Certification Request ☐ Pedestrian Plan (PP)
- ☐ Major ☐ Minor ☐ Other: _____

Project Name: WOODLAKE G.V.H. FILE # 170-A

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- To: ☐ Master Development Plan ☐ Street and Drainage
- ☐ Major Thoroughfare ☐ TIA
- ☐ Neighborhoods ☐ Zoning
- ☐ Historic ☒ Tree Preservation
- ☐ SAWS Aquifer ☒ Parks - Open Space
- ☐ Storm Water Engineering ☐ Fire Protection
- ☐ Disability Access (Sidewalks) ☐ Bexar County Public Works
- ☐ Other: _____

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Senior Planner

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. If necessary, please circulate within your department. Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for 10-11-02 before the (MDP) committee. ✓

☒ I recommend approval

☐ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: _____

- Coordinate tree preservation
- project will be subject to street scape standards along Woodlake Pkwy

D Reed

Signature

City, Auburn

Title

12/6/02

Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

RECEIVED AUG 26 2002

(Check One)

Date: _____

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) (Formerly POADP) | <input type="checkbox"/> P.U.D. Plan |
| <input checked="" type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
| <input type="checkbox"/> Master Plan Community District (MPCD) | <input type="checkbox"/> Military Airport Overlay Zone (MOAZ) |
| <input type="checkbox"/> Traditional Neighborhood Development (TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Other: _____ |

Project Name: WOODLAKE GVH SUBDIVISION FILE # 02-010

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|---|
| To: <input type="checkbox"/> Master Development Plan | <input type="checkbox"/> Street and Drainage |
| <input type="checkbox"/> Major Thoroughfare | <input type="checkbox"/> TIA |
| <input type="checkbox"/> Neighborhoods | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Historic | <input checked="" type="checkbox"/> Tree Preservation |
| <input type="checkbox"/> SAWS Aquifer | <input type="checkbox"/> Parks – Open Space |
| <input type="checkbox"/> Storm Water Engineering | <input type="checkbox"/> Fire Protection |
| <input type="checkbox"/> Disability Access (Sidewalks) | <input type="checkbox"/> Bexar County Public Works |
| <input type="checkbox"/> Other: _____ | |

Note: Master Plan Submittals (**ONLY**) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Senior Planner

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for _____ before the (MDP) committee.

☒ I recommend approval

☐ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: COORDINATE TREE PRESERVATION; STREETSCAPING
REQUIRED.

[Signature]

Signature

ASSISTANT CITY ARBORIST

Title

3/26/2002

Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

(Check One)

Date: 6/14/02

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) (Formerly POADP) | <input type="checkbox"/> P.U.D. Plan |
| <input checked="" type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
| <input type="checkbox"/> Master Plan Community District (MPCD) | <input type="checkbox"/> Military Airport Overlay Zone (MOAZ) |
| <input type="checkbox"/> Traditional Neighborhood Development (TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Other: _____ |

Project Name: WOODLAKE GVH SUB. FILE # 170A

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|---|
| To: <input type="checkbox"/> Master Development Plan | <input checked="" type="checkbox"/> Street and Drainage |
| <input type="checkbox"/> Major Thoroughfare | <input type="checkbox"/> TIA |
| <input type="checkbox"/> Neighborhoods | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Tree Preservation |
| <input type="checkbox"/> SAWS Aquifer | <input type="checkbox"/> Parks – Open Space |
| <input type="checkbox"/> Storm Water Engineering | <input type="checkbox"/> Fire Protection |
| <input type="checkbox"/> Disability Access (Sidewalks) | <input type="checkbox"/> Bexar County Public Works |
| <input type="checkbox"/> Other: _____ | |

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

 FROM: Michael O. Herrera, Senior Planner

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for 6-14-02 before the (MDP) committee.

☐ I recommend approval

☒ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: _____

- 1.) DESIGN STORAGE AT ENTRANCE
- 2.) PROVIDE 1' NON ACCESS ESM 'T @ WOODLAKE PRWY.
- 3.) CLEAR VISION - PROBLEM - USE - AASHTO

Signature

Title

6/14/02
Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

(Check One)

Date: 10-7-02

- ☒ Master Development Plan (MDP) (Formerly POADP) ☐ P.U.D. Plan
- ☐ MDP/ P.U.D. Plan (combination) ☐ Mixed Used District (MXD)
- ☐ Master Plan Community District (MPCD) ☐ Military Airport Overlay Zone (MOAZ)
- ☐ Traditional Neighborhood Development (TND) ☐ Manufactured Home Park Plan (MHPP)
- ☐ Plat Certification Request ☐ Pedestrian Plan (PP)
- ☐ Major ☐ Minor ☐ Other: _____

Project Name: WOODLAKE G.V.H. FILE # 170-A

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- To: ☐ Master Development Plan ☒ Street and Drainage
- ☐ Major Thoroughfare ☐ TIA
- ☐ Neighborhoods ☐ Zoning
- ☐ Historic ☐ Tree Preservation
- ☐ SAWS Aquifer ☐ Parks – Open Space
- ☐ Storm Water Engineering ☐ Fire Protection
- ☐ Disability Access (Sidewalks) ☐ Bexar County Public Works
- ☐ Other: _____

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Senior Planner

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for 10-11-02 before the (MDP) committee.

☐ I do not recommend approval

Development shall follow Traffic Impact Analysis Requirements

Wood Lake G.V. #.
STREETS & Draw.

☒ I recommend approval

☐ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: Development shall follow Traffic
Impact Analysis Requirements

Chris S. Ch

Signature

SR. ENGR. ASSOC.

Title

10/11/02

Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.

02 OCT 11 AM 8:13
CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

(Check One)

Date: 8/26/02

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) (Formally POADP) | <input type="checkbox"/> P.U.D. Plan |
| <input checked="" type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
| <input type="checkbox"/> Master Plan Community District (MPCD) | <input type="checkbox"/> Military Airport Overlay Zone (MOAZ) |
| <input type="checkbox"/> Traditional Neighborhood Development(TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Other: _____ |

Project Name: WOODLAKE GVH MDP/PUD FILE # 02-010

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|--|
| To: <input type="checkbox"/> Master Development Plan | <input type="checkbox"/> Street and Drainage |
| <input type="checkbox"/> Major Thoroughfare | <input type="checkbox"/> TIA |
| <input type="checkbox"/> Neighborhoods | <input checked="" type="checkbox"/> Zoning |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Tree Preservation |
| <input type="checkbox"/> SAWS Aquifer | <input type="checkbox"/> Parks – Open Space |
| <input type="checkbox"/> Other: _____ | <input type="checkbox"/> Fire Protection |
| | <input type="checkbox"/> Bexar County Public Works |

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Planner II

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for _____ before the (MDP) committee

12:11 AM 27 AUG 2002
CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING

August 17, 2001



**City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW**

(Check One)

Date: 2-3-03

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) | <input type="checkbox"/> P.U.D. Plan |
| <input type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
| <input type="checkbox"/> Master Plan Community District (MPCD) | <input type="checkbox"/> Military Airport Overlay Zone (MOAZ) |
| <input type="checkbox"/> Traditional Neighborhood Development (TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| Public Hearing <input type="checkbox"/> Yes <input type="checkbox"/> No | <input type="checkbox"/> Other: _____ |

☐ Major ☐ Minor

Project Name: Wood lake GVH FILE # _____

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|--|
| To: <input type="checkbox"/> Master Development Plan | <input type="checkbox"/> Street and Drainage |
| <input type="checkbox"/> Major Thoroughfare | <input checked="" type="checkbox"/> TIA |
| <input type="checkbox"/> Neighborhoods | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Tree Preservation |
| <input type="checkbox"/> Disability Access (Sidewalks) | <input type="checkbox"/> Parks – Open Space |
| <input type="checkbox"/> Storm Water Engineering | <input type="checkbox"/> Fire Protection |
| <input type="checkbox"/> SAWS Aquifer | <input type="checkbox"/> Bexar County Public Works |
| <input type="checkbox"/> Other: _____ | |

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
03 FEB -3 PM 4:25

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Special Projects Coordinator Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for _____ before the (MDP) committee.

☐ I recommend approval

☒ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

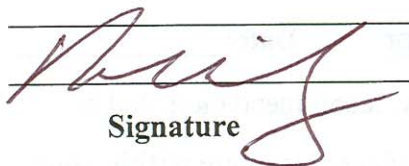
Comments: _____

① Details of emergency
vehicle access shown on
MDP/PUD Plan.

② ~~Emergency~~ Emergency access
needs to be platted as a
lot, if all streets are public.

③ Emergency access shall be
maintained by HOA.

④ Right-turn lane shall be
shown on plat.


Signature

Senior Engineer
Title

2-3-03
Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.

03 FEB -3 PM 4:25
DEPARTMENT OF PLANNING
CITY OF SAN ANTONIO



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

(Check One)

Date: 6/5/02

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) (Formally POADP) | <input type="checkbox"/> P.U.D. Plan |
| <input checked="" type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
| <input type="checkbox"/> Master Plan Community District (MPCD) | <input type="checkbox"/> Military Airport Overlay Zone (MOAZ) |
| <input type="checkbox"/> Traditional Neighborhood Development(TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Other: _____ |

Project Name: WOODLAKE GVH FILE # 170-A/02-010
PUD/POADP

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|---|
| To: <input type="checkbox"/> Master Development Plan | <input checked="" type="checkbox"/> Street and Drainage |
| <input type="checkbox"/> Major Thoroughfare | <input checked="" type="checkbox"/> TIA |
| <input type="checkbox"/> Neighborhoods | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Tree Preservation |
| <input type="checkbox"/> SAWS Aquifer | <input type="checkbox"/> Parks – Open Space |
| <input type="checkbox"/> Other: _____ | <input type="checkbox"/> Fire Protection |
| | <input type="checkbox"/> Bexar County Public Works |

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for
respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Planner II

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or
comment to the Planning Commission or Director. If necessary, please circulate within your
department. Copy this review sheet as needed. Mark your comments here and be prepared to
review at the next schedule meeting. Your written comments are strongly encouraged for
documentation in the file.

This item is tentative scheduled for _____ before the (MDP) committee

August 17, 2001

☒ Not approved

① Secondary access

② Right-of-way delev

02 AUG -7 PM 1:34

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING

05 AUG -7 PM 1:34

DEPARTMENT OF PLANNING
CITY OF SAN ANTONIO

Phil Senior Engr. 8-7-02

CITY OF SAN ANTONIO
Development Services Department

Interdepartment Correspondence Sheet

TO: Michael Herrera, Planning Department

FROM: Development Services Engineering Division

COPIES TO: File

SUBJECT: Woodlake GVH, PUD Level 1 T.I.A.

Date: September 10, 2003

The Development Services Engineering Division has reviewed the Level-1 Traffic Impact Analysis (TIA) for the Woodlake GVH Subdivision. The analysis is in compliance with the TIA Ordinance 91700.

This property is proposed to consist of 163 single family detached homes within a gated community. Based on the 6th edition of the ITE Trip Generation Manual, this property is estimated to generate 117 peak hour trips. One primary entrance is proposed to be a four-lane, divided collector section, intersecting Woodlake Parkway approximately 1,000 feet north of FM 78. A secondary emergency access will be provided midway between FM 78 and the primary access.

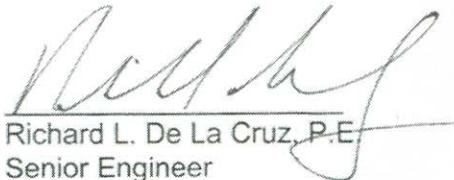
The following on-site improvements, as well as, improvements along the project limits are necessary and shall be provided by the developer, on and before the completion of the Woodlake GVH Subdivision. at no cost to the City of San Antonio:

- A right-turn lane shall be provided for the northbound primary entrance.
- The emergency access shall be maintained by the Home Owners Association.



Todd Sang
Senior Engineering Technician

Approved by:



Richard L. De La Cruz, P.E.
Senior Engineer

TS/RLD
ID 2002TIA0864

020864



Date: 10-7-02

- ☒ I recommend approval

☐ I do not recommend approval

Project Name: Woodward G.V.H. FILE # 170-A

To: ☐ Master Development Plan ☐ Street and Drainage
☐ Major Thoroughfare ☐ ~~Transportation~~
☐ Neighborhoods ☐ Zoning
☐ Historic ☐ Tree Preservation
☐ SAWS Aquifer ☐ Parks – Open Space
☐ Storm Water Engineering ☐ Fire Protection
☐ Disability Access (Sidewalks) ☐ Bexar County Public Works
☐ Other:

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Senior Planner

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for 10-11-02 before the (MDP) committee.

March 14, 2002

1

John L. ... *Secretary* *7-12-03*
Title Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.

Ernest Brown

From: Todd Sang
Sent: Friday, September 12, 2003 1:35 PM
To: Ernest Brown
Cc: Michael Herrera
Subject: Woodlake GVH

Please find an approval for the above attached



2002TIA0864.jpg 2002TIA0864b.jpg



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING

02 JUN -6 PM 2:22

Date: 6/5/02

(Check One)

- ☐ Master Development Plan (MDP) (Formerly POADP) ☐ P.U.D. Plan
- ☒ MDP/ P.U.D. Plan (combination) ☐ Mixed Used District (MXD)
- ☐ Master Plan Community District (MPCD) ☐ Military Airport Overlay Zone (MOAZ)
- ☐ Traditional Neighborhood Development (TND) ☐ Manufactured Home Park Plan (MHPP)
- ☐ Plat Certification Request ☐ Pedestrian Plan (PP)
- ☐ Major ☐ Minor ☐ Other: _____

Project Name: _____

FILE # _____

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,

(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- To: ☐ Master Development Plan ☐ Street and Drainage
- ☐ Major Thoroughfare ☐ TIA
- ☐ Neighborhoods ☐ Zoning
- ☐ Historic ☐ Tree Preservation
- ☐ SAWS Aquifer ☐ Parks – Open Space
- ☐ Storm Water Engineering ☐ Fire Protection
- ☒ Disability Access (Sidewalks) ☐ Bexar County Public Works
- ☐ Other: _____

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Senior Planner

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for _____ before the (MDP) committee.

City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW



☒ I recommend approval

☐ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: _____

Michael O. Herrera
Signature

Planner II
Title

6-7-02
Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.

2



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
02 JUN -6 AM 11:32

(Check One)

Date: 6/5/02

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) (Formally POADP) | <input type="checkbox"/> P.U.D. Plan |
| <input checked="" type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
| <input type="checkbox"/> Master Plan Community District (MPCD) | <input type="checkbox"/> Military Airport Overlay Zone (MOAZ) |
| <input type="checkbox"/> Traditional Neighborhood Development(TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Other: _____ |

Project Name: WOODLAKE GVH FILE # 170-A/02-010
PLD/POADP

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|--|
| To: <input type="checkbox"/> Master Development Plan | <input type="checkbox"/> Street and Drainage |
| <input checked="" type="checkbox"/> Major Thoroughfare | <input type="checkbox"/> TIA |
| <input type="checkbox"/> Neighborhoods | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Tree Preservation |
| <input type="checkbox"/> SAWS Aquifer | <input type="checkbox"/> Parks – Open Space |
| <input type="checkbox"/> Other: _____ | <input type="checkbox"/> Fire Protection |
| | <input type="checkbox"/> Bexar County Public Works |

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City of San Antonio Planning Department use

FROM: Michael O. Herrera, Planner II

Date: _____

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This item is tentative scheduled for _____ before the (MDP) committee

August 17, 2001

061002

170 -A/02-00

SEE COMMENT

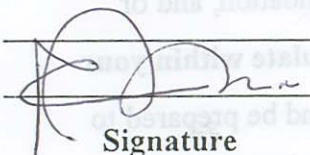
☒ I recommend approval

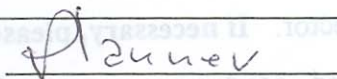
☐ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: HOODLAKE PARKWAY IS ON THE MTP REQUIRING
A MIN. OF 80' ROW. FM. 78 IS ON THE MTP AND
TXDOT SYSTEM REQUIRING A MIN. OF 120' ROW AND
TXDOT REVIEW.

NEED TXDOT REVIEW


Signature


Title

06/06/02
Date

Please returned this form to Michael O. Herrera, Planner II by next scheduled meeting.

June 28, 2001

MAJOR THORNTON
SEE COMMENT WOODLAKE

170 -A/02-00

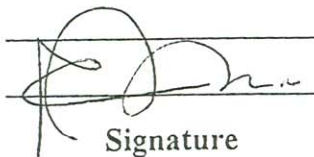
☒ I recommend approval

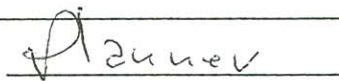
☐ I do not recommend approval

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subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: WOODLAKE PARKWAY IS ON THE MTP REQUIRING
A MIN. OF 80' ROW. FM. 78 IS ON THE MTP AND
TXDOT SYSTEM REQUIRING A MIN. OF 120' ROW AND
TXDOT REVIEW.

* NEED TXDOT REVIEW


Signature


Title

06/06/02
Date

Please return this form to Michael O. Herrera, Planner II by next scheduled meeting.

June 28, 2001

CITY OF SAN ANTONIO

PARKS AND RECREATION DEPARTMENT

Interdepartmental Correspondence Sheet

TO: Michael Herrera, Special Projects Coordinator, Planning Department

FROM: John McDonald, Senior Planner

COPIES: File

SUBJECT: Woodlake GVH Subdivision Planned Unit Development

DATE: June 12, 2003

I recommend approval of the Woodlake GVH Subdivision Planned Unit Development. The applicant has selected to pay the fee in-lieu of park dedication. The proposed subdivision will have a total of 163 lots. Based on a per acre cost of \$2,269.75, the total fee due is \$3,404.63.

Prior to recordation of the first plat filed under this plan payment in the amount of \$3,404.63 is due the Parks and Recreation Department.

THIS IS An
Amendment to
THE FIRST Letter

Herrera
9:15
10/16

Michael Herrera

From: John McDonald
Sent: Monday, June 16, 2003 1:49 PM
To: Michael Herrera
Subject: Woodlake Gvh



MEMO - PUD
Woodlake GVH COR.doc

John McDonald
Senior Planner
Park Project Services
Parks and Recreation Department
(210) 207-2886



**City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW**

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
-6 AM 11:32

(Check One)

Date: 6/5/02

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) (Formally POADP) | <input type="checkbox"/> P.U.D. Plan |
| <input checked="" type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
| <input type="checkbox"/> Master Plan Community District (MPCD) | <input type="checkbox"/> Military Airport Overlay Zone (MOAZ) |
| <input type="checkbox"/> Traditional Neighborhood Development(TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Other: _____ |

Project Name: WOODLAKE GVH FILE # 170-A/02-010
PUD/POADP

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|--|
| To: <input type="checkbox"/> Master Development Plan | <input type="checkbox"/> Street and Drainage |
| <input type="checkbox"/> Major Thoroughfare | <input type="checkbox"/> TIA |
| <input type="checkbox"/> Neighborhoods | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Tree Preservation |
| <input type="checkbox"/> SAWS Aquifer | <input checked="" type="checkbox"/> Parks – Open Space |
| <input type="checkbox"/> Other: _____ | <input type="checkbox"/> Fire Protection |
| | <input type="checkbox"/> Bexar County Public Works |

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Planner II

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for _____ before the (MDP) committee

August 17, 2001



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
12 JUN -6 AM 11:32

(Check One)

Date: 6/5/02

- | | |
|---|---|
| <input type="checkbox"/> Master Development Plan (MDP) (Formally POADP) | <input type="checkbox"/> P.U.D. Plan |
| <input checked="" type="checkbox"/> MDP/ P.U.D. Plan (combination) | <input type="checkbox"/> Mixed Used District (MXD) |
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| <input type="checkbox"/> Traditional Neighborhood Development(TND) | <input type="checkbox"/> Manufactured Home Park Plan (MHPP) |
| <input type="checkbox"/> Plat Certification Request | <input type="checkbox"/> Pedestrian Plan (PP) |
| <input type="checkbox"/> Major <input type="checkbox"/> Minor | <input type="checkbox"/> Other: _____ |

Project Name: WOODLAKE GVH FILE # 710-A/02-010
PUD/POADP

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- | | |
|--|--|
| To: <input type="checkbox"/> Master Development Plan | <input type="checkbox"/> Street and Drainage |
| <input type="checkbox"/> Major Thoroughfare | <input type="checkbox"/> TIA |
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| <input type="checkbox"/> Other: _____ | <input type="checkbox"/> Fire Protection |
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City of San Antonio Planning Department use

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This item is tentative scheduled for _____ before the (MDP) committee

August 17, 2001

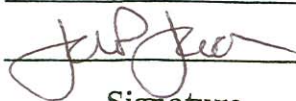
☐ I recommend approval

☒ I do not recommend approval

On _____, I notified _____, the engineer/
subdivider/agent, of the corrections needed to remove this objection. Tel # _____

Comments: _____

PROPERTY IS NOT ~~URB~~ ZONE FOR A
"PUD". RESUBMIT IF REZONING
PASSES ON 6-27-02 CASE# Z2002081



Signature

SR. PLANNER

Title

6-12-02

Date

Please return this form to Michael O. Herrera, Senior Planner by next scheduled meeting.



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

(Check One)

Date: 10-7-02

- ☒ Master Development Plan (MDP) (Formerly POADP) ☐ P.U.D. Plan
☐ MDP/ P.U.D. Plan (combination) ☐ Mixed Used District (MXD)
☐ Master Plan Community District (MPCD) ☐ Military Airport Overlay Zone (MOAZ)
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☐ Major ☐ Minor ☐ Other: _____

Project Name: WOODLAKE G.V.H. FILE # 170-A

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- To: ☐ Master Development Plan ☐ Street and Drainage
☐ Major Thoroughfare ☐ TIA
☐ Neighborhoods ☐ Zoning
☐ Historic ☐ Tree Preservation
☐ SAWS Aquifer ☐ Parks – Open Space
☐ Storm Water Engineering ☐ Fire Protection
☐ Disability Access (Sidewalks) ☐ Bexar County Public Works
☐ Other: _____

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

City of San Antonio Planning Department use

FROM: Michael O. Herrera, Senior Planner

Date: _____

SUBJECT: The attached item has been submitted for your review, recommendation, and or comment to the Planning Commission or Director. **If necessary, please circulate within your department.** Copy this review sheet as needed. Mark your comments here and be prepared to review at the next schedule meeting. Your written comments are strongly encouraged for documentation in the file.

This item is tentative scheduled for 10-11-02 before the (MDP) committee.



City of San Antonio
Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

(Check One)

Date: 10-7-02

- ☒ Master Development Plan (MDP) (Formerly POADP) ☐ P.U.D. Plan
- ☐ MDP/ P.U.D. Plan (combination) ☐ Mixed Used District (MXD)
- ☐ Master Plan Community District (MPCD) ☐ Military Airport Overlay Zone (MOAZ)
- ☐ Traditional Neighborhood Development (TND) ☐ Manufactured Home Park Plan (MHPP)
- ☐ Plat Certification Request ☐ Pedestrian Plan (PP)
- ☐ Major ☐ Minor ☐ Other: _____

Project Name: WOODLAKE G.V.H. FILE # 170-A

(Plats Only): 4 copies (folded) with Request for Review forms (attached) (1) Master Development,
(1) Major thoroughfare, (1) Neighborhoods, (1) Historic Preservation

- To: ☐ Master Development Plan ☐ Street and Drainage
- ☐ Major Thoroughfare ☐ TIA
- ☐ Neighborhoods ☐ Zoning
- ☐ Historic ☐ Tree Preservation
- ☐ SAWS Aquifer ☐ Parks – Open Space
- ☐ Storm Water Engineering ☐ Fire Protection
- ☐ Disability Access (Sidewalks) ☐ Bexar County Public Works
- ☐ Other: _____

Note: Master Plan Submittals (ONLY) 15 copies (folded) with Request for Review forms (attached) for respective departments or agencies

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Planning Department
Master Development Plan Section
REQUEST FOR REVIEW

(Check One)

Date: 10-7-02

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☐ MDP/ P.U.D. Plan (combination) ☐ Mixed Used District (MXD)
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☐ Plat Certification Request ☐ Pedestrian Plan (PP)
☐ Major ☐ Minor ☐ Other: _____

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☐ Disability Access (Sidewalks) ☐ Bexar County Public Works
☐ Other: _____

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This item is tentative scheduled for 10-11-02 before the (MDP) committee.



City of San Antonio
NEW U.D.C.
Master Development Plan and P.U.D.
APPLICATION

Date Submitted:

Project ID Number:

Project Name: WOODLAKE GVH PLUD/POADP # 170A
Owner/Agent: GORDON V. HARTMAN Phone: 4901798 Fax: 4994635
Address: 1175 W. BITTERS STE 200 Zip code: 78216
Engineer/Survevor: W. F. CASTELLA & AS Phone: 734 5351 Fax: 734 5363

GORDON V. HARTMAN ENTERPRISES, INC.

HARTMAN CENTRE
1175 W. BITTERS, SUITE 200
SAN ANTONIO, TX 78216

BROADWAY NATIONAL BANK
SAN ANTONIO, TEXAS 78217-7001
88-2193-1140

DATE

No. 14859

CHECK AMOUNT

\$

PAY

04/10/2002

*****397.00

THREE HUNDRED NINETY-SEVEN DOLLARS AND ZERO CENTS*****

TO THE
ORDER
OF

City of San Antonio
San Antonio, Tx

GORDON V. HARTMAN ENTERPRISES, INC.

Edward Belang

WOODLAKE GVH MDP FEE

⑈014859⑈ ⑆114021933⑆⑈001⑈0252204⑈

GORDON V. HARTMAN ENTERPRISES, INC.

HARTMAN CENTRE
1175 W. BITTERS, SUITE 200
SAN ANTONIO, TX 78216

BROADWAY NATIONAL BANK
SAN ANTONIO, TEXAS 78217-7001
88-2193-1140

DATE

No. 14860

CHECK AMOUNT

\$

PAY

04/10/2002

*****397.00

THREE HUNDRED NINETY-SEVEN DOLLARS AND ZERO CENTS*****

TO THE
ORDER
OF

City of San Antonio
San Antonio, Tx

GORDON V. HARTMAN ENTERPRISES, INC.

Edward Belang

WOODLAKE GVH PLUD FEE

⑈014860⑈ ⑆114021933⑆⑈001⑈0252204⑈



Texas Department of Transportation

P.O. BOX 29928 • SAN ANTONIO, TEXAS 78229-0928 • (210) 615-1110

August 30, 2002

P.U.D. REVIEW

Woodlake GVH Subdivision P.U.D.

Located on FM 78 @ Woodlake Parkway

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
02 SEP -5 PM 5:10

Mike Herrera
City of San Antonio Department of Planning
P.O. Box 839966
San Antonio, Texas 78283-3966

P.O.A.D.P. Reviewed for:

Comments

Noise Mitigation

For residential development directly adjacent to State ROW, the developer shall be responsible for adequate set-back and/or sound abatement.

R.O.W. Requirements

None anticipated.

Access Limits/Restrictions

All access shall be from Woodlake Parkway.

WPAP Requirements

None.

Permit applications along with plans for street, driveway, utility, sidewalk and drainage construction must be submitted to the Texas Department of Transportation for review and approval before working on highway ROW. TxDOT requires that a recorded plat accompany all driveway permit applications. The Owner/Developer is responsible for preventing any adverse impact to the existing drainage system within highway ROW.

ADDITIONAL COMMENTS:

Judy Friesenhahn, P.E.
Advanced Project
Development Engineer

cc: W.F. Castella & Associates, Inc.

*E. R. Jackson***Michael Herrera**

From: Terrance Jackson
Sent: Thursday, July 17, 2003 8:03
To: Lee Wright (E-mail)
Cc: Michael Herrera
Subject: Woodlake GVH MDP

✓

City of San Antonio

Interdepartmental Correspondence Sheet

TO: Michael Herrera

FROM: Terrance Jackson, P.E.

COPIES TO: Samuel Carreon, P.E. , Arturo Villareal, P.E. , File

SUBJECT: Woodlake GVH MDP
File

July 16, 2003

Storm Water Engineering recommends approval of the subject MDP.

Terrance Jackson, P.E.
Storm Water Engineering Division

7/17/2003

Ernest

City of San Antonio

Interdepartmental Correspondence Sheet

TO: Michael Herrera

FROM: Terrance Jackson, P.E.

COPIES TO: Samuel Carreon, P.E. , Arturo Villareal, P.E. , File *Ernest Brown*

SUBJECT: Woodlake GVH MDP
File

July 16, 2003

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NO FURTHER COMMENTS
7-17-03 A.J.

Terrance Jackson
Terrance Jackson, P.E.
Storm Water Engineering Division

Michael Herrera

From: Arturo Villarreal
Sent: Thursday, July 17, 2003 2:33 PM
To: Ernest Brown
Cc: Michael Herrera; Terrance Jackson
Subject: Woodlake GVH

Storm Water Comments.



SC-WoodlakeGVH-S
W-OK.pdf

City of San Antonio

Interdepartmental Correspondence Sheet

TO: Michael Herrera

FROM: Terrance Jackson, P.E.

COPIES TO: Samuel Carreon, P.E. , Arturo Villareal, P.E. , File *Enrique Brown*

SUBJECT: Woodlake GVH MDP
File

July 16, 2003

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Terrance Jackson, P.E.
Storm Water Engineering Division

Ernest Brown

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Sent: Thursday, July 17, 2003 2:33 PM
To: Ernest Brown
Cc: Michael Herrera; Terrance Jackson
Subject: Woodlake GVH

Storm Water Comments.



SC-WoodlakeGVH-S
W-OK.pdf

City of San Antonio

Interdepartmental Correspondence Sheet

TO: Michael Herrera

FROM: Arturo Villarreal, Jr., P.E.

COPIES TO: Samuel Carreon P.E., LeeAnne Lutz, E.I.T. File


SUBJECT: Woodlake GVH, PUD
File #170A/02-010

Cibolo Creek Watershed-Salado Creek Watershed Team

Date: June 17, 2002

Storm Water Engineering has reviewed the Woodlake GVH PUD submittal and comments are as follows:

1. The project submittal as discussed in the MDP meeting (June 14, 2002) is considered a new PUD to be reviewed under the new 2001 UDC.
2. Provide a Storm Water Management Plan (section 35-B119) is required per Appendix B, table B-1, H (24), page B-9 of the UDC.
3. The MDP submittal will not be accepted unless a Storm Water Management Plan accompanies the MDP.
4. Preliminary review of the MDP shows that it does not meet the requirement of all weather access to the proposed subdivision.


Arturo Villarreal, Jr., P.E.
Storm Water Engineering

✓

City of San Antonio

Interdepartmental Correspondence Sheet

TO: Michael Herrera

FROM: Arturo Villarreal, Jr., P.E.

COPIES TO: Samuel Carreon P.E., LeeAnne Lutz, E.I.T. File

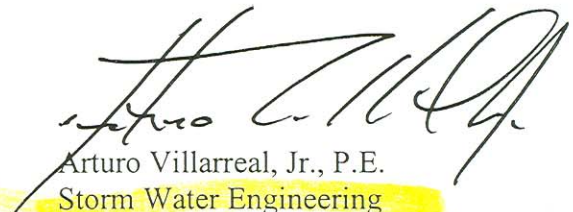
SUBJECT: Woodlake GVH, PUD
File #170A/02-010

Cibolo Creek Watershed-Salado Creek Watershed Team

Date: October 7, 2002

Storm Water Engineering has reviewed the storm water calculations submitted for the Woodlake GVH PUD. The PUD is not approved and resubmittal is required.

1. Please review previous comments made June 17, 2002 (attached).
2. A complete Storm Water Management Plan (section 35-B119) is required per Appendix B, table B-1, H (24), page B-9 of the UDC.
3. The most recent submittal on the Woodlake GVH PUD to Storm Water Engineering contains only the flood plain analysis that is only part of a Storm Water Management Plan. Therefore a full review cannot be done until a complete Storm Water Management Plan is submitted.


Arturo Villarreal, Jr., P.E.
Storm Water Engineering

City of San Antonio

Interdepartmental Correspondence Sheet

TO: Michael Herrera

FROM: Arturo Villarreal, Jr., P.E.

COPIES TO: Samuel Carreon P.E., LeeAnne Lutz, E.I.T. File

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Arturo Villarreal, Jr., P.E.
Storm Water Engineering



A T.C.B. INC., CO.

TRANSMITTAL
LETTER

To: Michael
Date: October 23, 2003

W.F. CASTELLA & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

6800 Park TenBlvd., Suite 180 South • San Antonio, Texas 78213
(210) 734-5351 FAX (210) 734-5363

To: Mr. Emil Moncivias, AICP, AIA,
Director, Department of Planning
1901 S. Alamo St.
San Antonio, TX 78204

Project No.: 052281552.0001.000112808
GLC/File: 090234/P
Re: WOODLAKE MEADOWS MDP

WE ARE SENDING YOU ☒ ATTACHED ☐ UNDER SEPARATE COVER VIA
THE FOLLOWING ITEMS.

☒ Prints ☐ Sepias ☐ Films ☐ Tracings ☐ Tracings
☒ Copy of Letter ☐ Change Order ☐ Invoices

10/27/03

COPIES	DESCRIPTION OF ITEMS TRANSMITTED
1	LETTER
1	MDP PLAN

EMIL WE
NEED TO
DISCUSS

THESE ARE TRANSMITTED as checked below:

☐ For your approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☒ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☐ For payment ☐

REMARKS: Please call David Beales with any questions or comments. Thank You.

mbv

COPY TO: P-File
REC. BY:
DATE:

Thank you,

SIGNED: Pablo De Luna
Pablo De Luna, Engineering Technician

If enclosures are not as noted, kindly notify us at once.

CITY OF SAN ANTONIO
DEPT. OF PLANNING
OFFICE OF DIRECTOR
OCT 24 PM 2:40



A TCB INC. Company

W.F. CASTELLA & ASSOCIATES, INC.
Engineers • Surveyors • Planners

October 17, 2003

Mr. Emil Moncivias, AICP, AIA,
Director, Department of Planning,
P.O. Box 839966,
San Antonio, Tx. 78283-3966.

Re: Woodlake Meadows MDP

Dear Emil,

The following is my understanding of the agreement, between the City of San Antonio (City) and DFGG of Texas, Ltd. (Developer), addressing connectivity to the property west of the Woodlake Meadows.

1. The developer will provide a Local "A" type street connection from Unit 3 to the undeveloped property west of the development on the MDP. This undeveloped property is currently zoned for industrial use.
2. The Planning Department will approve the Woodlake Meadows MDP based on this connection.
3. The developer, with the support of the City of San Antonio, will not plat the connection if the adjacent property has not be rezoned for residential use at the time of construction plan submittal to the City for Woodlake Meadows Unit 3.
4. The developer will be able to recover lots lost to the street right-of-way in Unit 3 without a revision to the MDP.

Please notify me if I have misunderstood the terms of the agreement prior to approval of the MDP.

Thank you and your staff for your help in resolving this issue.

Yours truly,

David Beales, P.E.
Project Director
WF Castella and Associates

CITY OF SAN ANTONIO
DEPT. OF PLANNING
OFFICE OF DIRECTOR
03 OCT 24 PM 2:40



W.F. CASTELLA & ASSOCIATES, INC.
Engineers • Surveyors • Planners

To:
City of San Antonio
Planning Department

May 17, 2002

Attn: Mike Herrera

Re: Woodlake GVH PUD/ POADP

Mr. Herrera,

Please note that a Zoning Case is in process to modify existing R-6 to a (P1) R-6 classification.

You will notice that there is a single entrance for this proposed Development consisting of 163 lots. This is due to physical circumstances beyond the Developer's control namely being surrounded almost entirely by 100 year Flood Plain and an existing Golf Course with an adjacent portion being an existing Judson School Site and the remainder consisting of a limited amount of frontage along Woodlake Parkway. It is our opinion that this short frontage along Woodlake Parkway does not lend itself to safely accommodating two access points.

W.F. Castella & Associates

Lee Wright
Senior Engineering Technician



CITY OF SAN ANTONIO
DEPT. OF PLANNING
OFFICE OF DIRECTOR
A.T.C.B. INC., CO.
DEC -5 AM 9:19

TRANSMITTAL LETTER

RECEIVED

03 NOV 26 PM 3:12

LAND DEVELOPMENT
SERVICES

Date: November 26, 2003

W.F. CASTELLA & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

6800 Park Ten Blvd., Suite 180 S. • San Antonio, Texas 78213

(210) 734-5351 FAX (210) 734-5363

To: Mr. Ernest Brown

Project No.: 052247208.0001 Task: 00030 GLC: 090916

COSA- ONE STOP

Re: Woodlake GVH Unit 1

1901 South Alamo Street

San Antonio, Texas 78204

WE ARE SENDING YOU ☒ ATTACHED ☐ UNDER SEPARATE COVER VIA _____ THE FOLLOWING ITEMS.

☒ Prints ☐ Sepias ☐ Films ☐ Tracings ☐ Specifications

☐ Copy of Letter ☐ Change Order ☐ Invoices ☐ _____

SETS	COPIES PER SET	DESCRIPTION
8	1	Final copy: MDP/POADP
1	1	8 1/2 x 11 reduction of final MDP/POADP

THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> For your approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Resubmit _____ copies for approval |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit _____ copies for distribution |
| <input checked="" type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Return _____ corrected prints |
| <input checked="" type="checkbox"/> For review and comment | <input type="checkbox"/> For payment | <input type="checkbox"/> _____ |

REMARKS: Mr. Brown, per your request we are submitting to you the final MDP/POADP copies and reduction. If this is all that is required, please process for the director's approval and signature (per your e-mail dated, 11/19/03).

As always...Thank you for your continuous effort to produce our approvals in a timely fashion.

COPY TO: K file

REC. BY: _____

DATE: _____

If enclosures are not as noted, kindly notify us at once.

SIGNED: _____

Valerie A. Morales

Thank you!

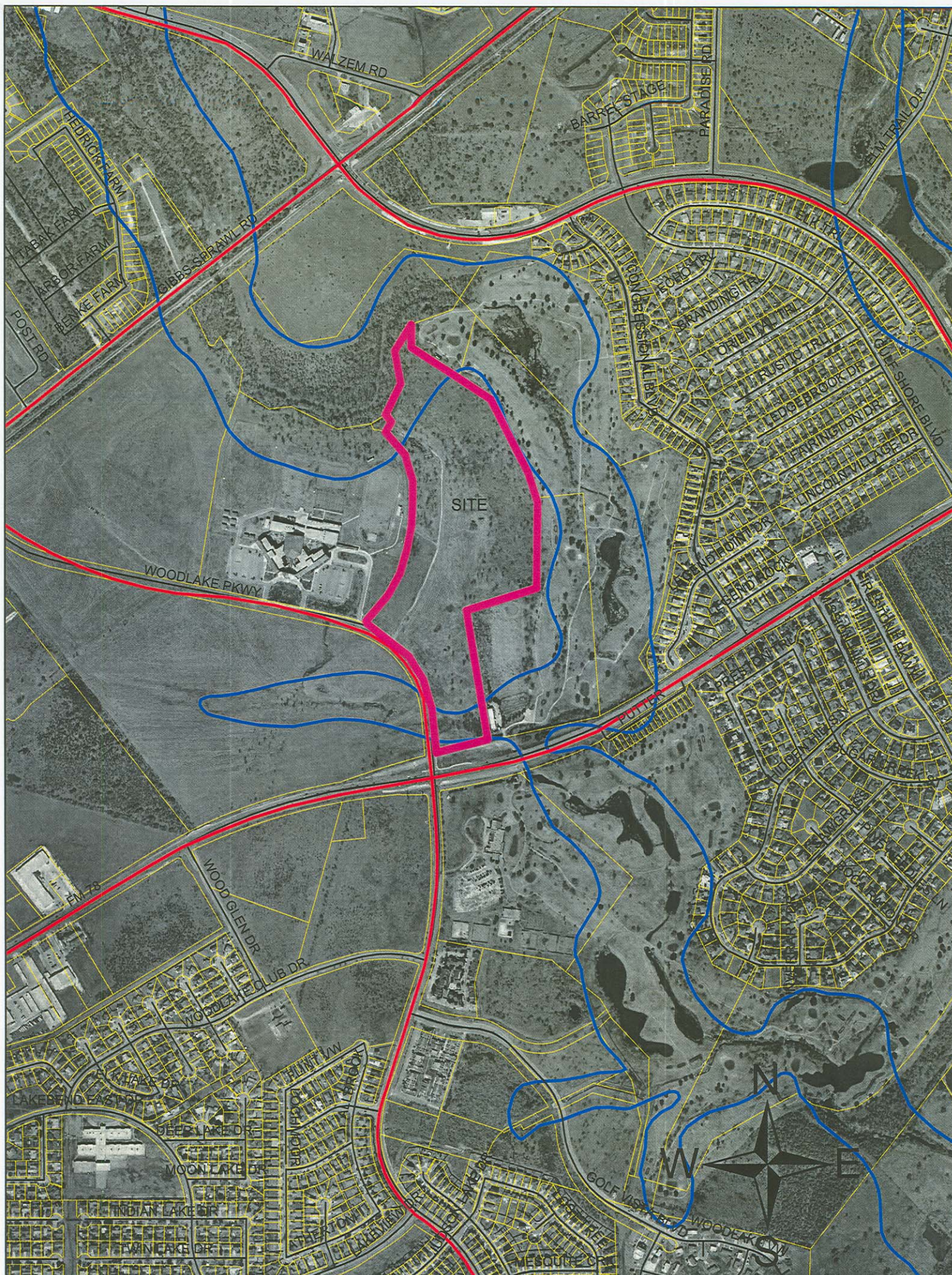
Valerie A. Morales

WFC A TCB INC. Company

W.F. CASTELLA & ASSOCIATES, INC.
Engineers — Surveyors — Planners
4800 Park Ten Blvd., Suite 180 South — San Antonio, Texas 78212

JOB NO. 035247028.0030
FILE: _____
DATE: 06/05/02
DESIGN: L.S.
DRAWN: G.T.
CHECKED: _____
SHEET 1 OF 1







LOCATION MAP
NOT TO SCALE



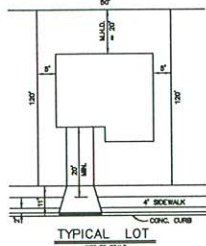
GRAPHIC SCALE



TYPICAL STREET SECTION
NOT TO SCALE

DEVELOPER:
GORDON V. HARTMAN ENTERPRISES, INC.
1175 W. BITTERS, STE 200
SAN ANTONIO, TEXAS 78216
PHONE: (210) 490-1798

NOTE: LOT 1, BLOCK 01 IS A PRIVATE STREET AND ALSO A WATER, ELECTRIC, SANITARY SEWER, TELEPHONE, CABLE C.V. & DRAINAGE EASEMENT.
LOTS 99 & 100, BLOCK 02 ARE G.E.T.V., WATER, DRAINAGE EASEMENTS & OPEN SPACES.
LOTS 101, 102, 103 & 104, BLOCK 02 ARE DRAINAGE EASEMENTS & OPEN SPACES.



TYPICAL LOT
NOT TO SCALE

OWNER: SOUTHERN
GOLF II LTD.
P15A
N.C.B. 17730
(VOL. 7915, PG. 967, R.P.R.)

OWNER: JUDSON I.S.D.
LOT 2
BLOCK 2
N.C.B. 17730
WOODLAKE HILLS
MIDDLE SCHOOL
(VOL. 9531, PGS. 198-200, D.P.R.)

UNIT	LOTS
WOOLLAKE G.V.H. UNIT 1	89 LOTS
WOOLLAKE G.V.H. UNIT 2	74 LOTS

APPROXIMATELY 163 LOTS

- 163 RESIDENTIAL UNITS
- TOTAL ACREAGE 44.05 ACRES
- MIN. TWO (2) OFF-STREET PARKING SPACES TO BE PROVIDED FOR EACH RESIDENTIAL UNIT

DENSITY AND OPEN SPACE RATIOS

BASE ZONING DISTRICT	= (P-1) R-8
MAXIMUM DENSITY ALLOWED	= 7 UNITS PER ACRE
PROPOSED DENSITY	= 6.58 UNITS PER ACRE
MINIMUM REQUIRED PERCENTAGE OF OPEN SPACE	= 35%
PROPOSED PERCENTAGE OF OPEN SPACE	= 72%

4.38 ACRES	STREET PAVEMENT/ISLANDS & CONC. DRAINS
1.30 ACRES	DRIVEWAYS (16' X 20')
6.82 ACRES	HOUSE SLABS, TYPICAL 1,800 SF (INCLUDES GARAGE)
13.38 ACRES	OCCUPIED SPACE
44.05 ACRES	TOTAL AREA
12.38 ACRES	OCCUPIED SPACE
31.67 ACRES	OPEN SPACE

31.67 / 44.05 = 0.72 OPEN SPACE RATIO
0.72 x 100 = 72% PERCENTAGE OF OPEN SPACE

TYPICAL GATE DETAIL

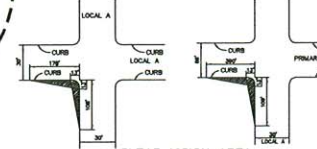
SCALE: 1" = 60'

LINE	BEARING	LENGTH
1	N45°30'12"E	81.08'
2	N89°21'21"W	81.77'
3	N22°15'12"W	69.87'
4	N30°13'38"W	65.74'
5	N62°14'52"E	65.81'
6	N42°20'54"E	62.40'
7	N22°02'12"E	124.79'
8	N08°28'50"E	78.17'
9	N30°22'28"E	65.81'
10	N47°13'53"W	55.07'
11	N19°34'02"E	150.81'
12	N05°50'12"E	109.81'
13	N42°20'54"E	62.41'
14	N79°06'12"E	81.81'
15	N30°17'43"E	77.77'
16	S00°17'30"W	155.65'
17	N18°12'11"E	128.12'
18	S02°28'04"E	78.82'
19	N32°02'12"E	254.18'
20	S34°12'02"W	100.00'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	102°29'21"	50.00'	24.85'	38.72'	31.18'
C2	62°30'00"	743.00'	478.68'	850.48'	854.81'
C3	28°38'12"	117.11'	970.81'	121.65'	1155.46'
C4	18°28'58"	650.00'	68.72'	126.12'	130.97'

NOTES:

1. SIGHT LINES SHALL BE OBSERVED, ALONG PAVING LINES, AS SHOWN. WITHIN CLEAR VISION AREA, NO STRUCTURE, FENCE OR LANDSCAPING SHALL BE PLACED AS TO OBSTRUCT THE LINE OF SIGHT WITHIN THE TRIANGLE BETWEEN THREE (3) FEET AND NINE (9) FEET ABOVE THE ROADWAY SURFACE.
2. PEDESTRIAN ACCESS 4' SIDEWALKS TO BE PROVIDED WITH THE DEVELOPMENT OF EACH RESIDENTIAL LOT.
3. ALL STREETS WITHIN UNITS 1 & 2 ARE PRIVATE STREETS.

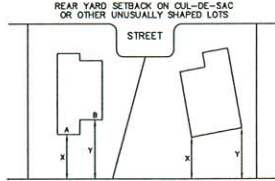


CLEAR VISION AREA

ALL CORNER LOTS WILL COMPLY WITH THE CLEAR VISION AREA REQUIREMENTS OF SECTION 35-3338 OF THE UNIFIED DEVELOPMENT CODE. CURB LENGTHS EXHIBIT G, LEFT-EQUATION A RIGHT-EQUATION D

$L=13 \text{ (80)} \left(\frac{134}{100} \right) \left(\frac{W}{24} \right) \left(\frac{H}{4} \right) = 108 \text{ FT.}$
 $R=0.65 \text{ (80)} - \left(\frac{W}{24} \right) \left(\frac{H}{4} \right) = 360 \text{ FT.}$
 $150 \text{ FT.} \leq W \leq 300 \text{ FT.}$ $H_1=7$ $H_2=2$

REAR YARD SETBACK ON CUL-DE-SAC OR OTHER UNUSUALLY SHAPED LOTS



MEAN HORIZONTAL DISTANCE

"A PLANNED UNIT DEVELOPMENT"

MDP/ P.U.D. PLAN

for

WOODLAKE G.V.H. SUBDIVISION

BEGING 44.05 ACRES OF LAND IN N.C.B. 17730,
SAN ANTONIO, BEAR COUNTY, TEXAS.

A TCB INC. Company
W.F. CASTELLA & ASSOCIATES, INC.
Engineers - Surveyors - Planners
6800 Park Ten Blvd., Suite 180 South - San Antonio, Texas 78213 - (210)754-5351

REVISIONS:
08/24/02 - LOT REVISIONS
12/11/03 - TITLE BLOCK
1/05/04 - LOCATION MAP
REVISION

JOB NO. 030472028.0030

FILE:

DATE: 08/08/02

DESIGN: L.R.

DRAWN: G.T.

CHECKED:

SHEET 1 OF 1

		CURVE TYPE				
CURVE NO.	CHORD LENGTH	CHORD BEARING	CENTRAL ANGLE	WOGUS	ARC LENGTH	WRIGHT LENGTH
CC	511.012	111.012	73.000	73.000	511.012	511.012
CC	121.250	88.500	274.100	73.000	121.250	121.250
CC	121.250	104.410	73.000	73.000	121.250	121.250
CC	121.250	114.420	73.000	73.000	121.250	121.250
CC	121.250	124.430	73.000	73.000	121.250	121.250
CC	121.250	134.440	73.000	73.000	121.250	121.250
CC	121.250	144.450	73.000	73.000	121.250	121.250
CC	121.250	154.460	73.000	73.000	121.250	121.250
CC	121.250	164.470	73.000	73.000	121.250	121.250
CC	121.250	174.480	73.000	73.000	121.250	121.250
CC	121.250	184.490	73.000	73.000	121.250	121.250
CC	121.250	194.500	73.000	73.000	121.250	121.250
CC	121.250	204.510	73.000	73.000	121.250	121.250
CC	121.250	214.520	73.000	73.000	121.250	121.250
CC	121.250	224.530	73.000	73.000	121.250	121.250
CC	121.250	234.540	73.000	73.000	121.250	121.250
CC	121.250	244.550	73.000	73.000	121.250	121.250
CC	121.250	254.560	73.000	73.000	121.250	121.250
CC	121.250	264.570	73.000	73.000	121.250	121.250
CC	121.250	274.580	73.000	73.000	121.250	121.250
CC	121.250	284.590	73.000	73.000	121.250	121.250
CC	121.250	294.600	73.000	73.000	121.250	121.250
CC	121.250	304.610	73.000	73.000	121.250	121.250
CC	121.250	314.620	73.000	73.000	121.250	121.250
CC	121.250	324.630	73.000	73.000	121.250	121.250
CC	121.250	334.640	73.000	73.000	121.250	121.250
CC	121.250	344.650	73.000	73.000	121.250	121.250
CC	121.250	354.660	73.000	73.000	121.250	121.250
CC	121.250	364.670	73.000	73.000	121.250	121.250
CC	121.250	374.680	73.000	73.000	121.250	121.250
CC	121.250	384.690	73.000	73.000	121.250	121.250
CC	121.250	394.700	73.000	73.000	121.250	121.250
CC	121.250	404.710	73.000	73.000	121.250	121.250
CC	121.250	414.720	73.000	73.000	121.250	121.250
CC	121.250	424.730	73.000	73.000	121.250	121.250
CC	121.250	434.740	73.000	73.000	121.250	121.250
CC	121.250	444.750	73.000	73.000	121.250	121.250
CC	121.250	454.760	73.000	73.000	121.250	121.250
CC	121.250	464.770	73.000	73.000	121.250	121.250
CC	121.250	474.780	73.000	73.000	121.250	121.250
CC	121.250	484.790	73.000	73.000	121.250	121.250
CC	121.250	494.800	73.000	73.000	121.250	121.250
CC	121.250	504.810	73.000	73.000	121.250	121.250
CC	121.250	514.820	73.000	73.000	121.250	121.250
CC	121.250	524.830	73.000	73.000	121.250	121.250
CC	121.250	534.840	73.000	73.000	121.250	121.250
CC	121.250	544.850	73.000	73.000	121.250	121.250
CC	121.250	554.860	73.000	73.000	121.250	121.250
CC	121.250	564.870	73.000	73.000	121.250	121.250
CC	121.250	574.880	73.000	73.000	121.250	121.250
CC	121.250	584.890	73.000	73.000	121.250	121.250
CC	121.250	594.900	73.000	73.000	121.250	121.250
CC	121.250	604.910	73.000	73.000	121.250	121.250
CC	121.250	614.920	73.000	73.000	121.250	121.250
CC	121.250	624.930	73.000	73.000	121.250	121.250
CC	121.250	634.940	73.000	73.000	121.250	121.250
CC	121.250	644.950	73.000	73.000	121.250	121.250
CC	121.250	654.960	73.000	73.000	121.250	121.250
CC	121.250	664.970	73.000	73.000	121.250	121.250
CC	121.250	674.980	73.000	73.000	121.250	121.250
CC	121.250	684.990	73.000	73.000	121.250	121.250
CC	121.250	694.000	73.000	73.000	121.250	121.250
CC	121.250	704.010	73.000	73.000	121.250	121.250
CC	121.250	714.020	73.000	73.000	121.250	121.250
CC	121.250	724.030	73.000	73.000	121.250	121.250
CC	121.250	734.040	73.000	73.000	121.250	121.250
CC	121.250	744.050	73.000	73.000	121.250	121.250
CC	121.250	754.060	73.000	73.000	121.250	121.250
CC	121.250	764.070	73.000	73.000	121.250	121.250
CC	121.250	774.080	73.000	73.000	121.250	121.250
CC	121.250	784.090	73.000	73.000	121.250	121.250
CC	121.250	794.100	73.000	73.000	121.250	121.250
CC	121.250	804.110	73.000	73.000	121.250	121.250
CC	121.250	814.120	73.000	73.000	121.250	121.250
CC	121.250	824.130	73.000	73.000	121.250	121.250
CC	121.250	834.140	73.000	73.000	121.250	121.250
CC	121.250	844.150	73.000	73.000	121.250	121.250
CC	121.250	854.160	73.000	73.000	121.250	121.250
CC	121.250	864.170	73.000	73.000	121.250	121.250
CC	121.250	874.180	73.000	73.000	121.250	121.250
CC	121.250	884.190	73.000	73.000	121.250	121.250
CC	121.250	894.200	73.000	73.000	121.250	121.250
CC	121.250	904.210	73.000	73.000	121.250	121.250
CC	121.250	914.220	73.000	73.000	121.250	121.250
CC	121.250	924.230	73.000	73.000	121.250	121.250
CC	121.250	934.240	73.000	73.000	121.250	121.250
CC	121.250	944.250	73.000	73.000	121.250	121.250
CC	121.250	954.260	73.000	73.000	121.250	121.250
CC	121.250	964.270	73.000	73.000	121.250	121.250
CC	121.250	974.280	73.000	73.000	121.250	121.250
CC	121.250	984.290	73.000	73.000	121.250	121.250
CC	121.250	994.300	73.000	73.000	121.250	121.250
CC	121.250	1004.310	73.000	73.000	121.250	121.250
CC	121.250	1014.320	73.000	73.000	121.250	121.250
CC	121.250	1024.330	73.000	73.000	121.250	121.250
CC	121.250	1034.340	73.000	73.000	121.250	121.250
CC	121.250	1044.350	73.000	73.000	121.250	121.250
CC	121.250	1054.360	73.000	73.000	121.250	121.250
CC	121.250	1064.370	73.000	73.000	121.250	121.250
CC	121.250	1074.380	73.000	73.000	121.250	121.250
CC	121.250	1084.390	73.000	73.000	121.250	121.250
CC	121.250	1094.400	73.000	73.000	121.250	121.250
CC	121.250	1104.410	73.000	73.000	121.250	121.250
CC	121.250	1114.420	73.000	73.000	121.250	121.250
CC	121.250	1124.430	73.000	73.000	121.250	121.250
CC	121.250	1134.440	73.000	73.000	121.250	121.250
CC	121.250	1144.450	73.000	73.000	121.250	121.250
CC	121.250	1154.460	73.000	73.000	121.250	121.250
CC	121.250	1164.470	73.000	73.000	121.250	121.250
CC	121.250	1174.480	73.000	73.000	121.250	121.250
CC	121.250	1184.490	73.000	73.000	121.250	121.250
CC	121.250	1194.500	73.000	73.000	121.250	121.250
CC	121.250	1204.510	73.000	73.000	121.250	121.250
CC	121.250	1214.520	73.000	73.000	121.250	121.250
CC	121.250	1224.530	73.000	73.000	121.250	121.250
CC	121.250	1234.540	73.000	73.000	121.250	121.250
CC	121.250	1244.550	73.000	73.000	121.250	121.250
CC	121.250	1254.560	73.000	73.000	121.250	121.250
CC	121.250	1264.570	73.000	73.000	121.250	121.250
CC	121.250	1274.580	73.000	73.000	121.250	121.250
CC	121.250	1284.590	73.000	73.000	121.250	121.250
CC	121.250	1294.600	73.000	73.000	121.250	121.250
CC	121.250	1304.610	73.000	73.000	121.250	121.250
CC	121.250	1314.620	73.000	73.000	121.250	121.250
CC	121.250	1324.630	73.000	73.000	121.250	121.250
CC	121.250	1334.640	73.000	73.000	121.250	121.250
CC	121.250	1344.650	73.000	73.000	121.250	121.250
CC	121.250	1354.660	73.000	73.000	121.250	121.250
CC	121.250	1364.670	73.000	73.000	121.250	121.250
CC	121.250	1374.680	73.000	73.000	121.250	121.250
CC	121.250	1384.690	73.000	73.000	121.250	121.250
CC	121.250	1394.700	73.000	73.000	121.250	121.250
CC	121.250	1404.710	73.000	73.000	121.250	121.250
CC	121.250	1414.720	73.000	73.000	121.250	121.250
CC	121.250	1424.730	73.000	73.000	121.250	121.250
CC	121.250	1434.740	73.000	73.000	121.250	121.250
CC	121.250	1444.750	73.000	73.000	121.250	121.250
CC	121.250	1454.760	73.000	73.000	121.250	121.250
CC	121.250	1464.770	73.000	73.000	121.250	121.250
CC	121.250	1474.780	73.000	73.000	121.250	121.250
CC	121.250	1484.790	73.000	73.000	121.250	121.250
CC	121.250	1494.800	73.000	73.000	121.250	121.250
CC	121.250	1504.810	73.000	73.000	121.250	121.250
CC	121.250	1514.820	73.000	73.000	121.250	121.250
CC	121.250	1524.830	73.000	73.000	121.250	121.250
CC	121.250	1534.840	73.000	73.000	121.250	121.250
CC	121.250	1544.850	73.000	73.000	121.250	121.250
CC	121.250	1554.860	73.000	73.000	121.250	121.250
CC	121.250	1564.870	73.000	73.000	121.250	121.250
CC	121.250	1574.880	73.000	73.000	121.250	121.250
CC	121.250	1584.890	73.000	73.000	121.250	121.250
CC	121.250	1594.900	73.000	73.000	121.250	121.250
CC	121.250	1604.910	73.000	73.000	121.250	121.250



LOT 2
BLOCK 2
N.C.B. 17730
(SEE SHEET 3 OF 3)

NOTE: 1/2" IRON PINS
SET AT ALL PROPERTY
CORNERS UNLESS NOTED
OTHERWISE

SCALE: 1" = 100'

FILED THE BOARD OF
COUNTY CLERK
JULY 19 1955
MAY 19 1955
RECEIVED AT
13465
25.00
5.00
BOOKS 1 25-007365
REPORT - FIVE WEEKS

[illegible]

STATE OF TEXAS
COUNTY OF DALLAS

I HEREBY CERTIFY THAT PREVIOUS KNOWLEDGE CONSIDERATION
AND CONSENT HAVE BEEN GIVEN THIS PLAN TO THE MAYORS OF STAMPA, LOUISIANA
AND BIRMINGHAM, ALABAMA, AND TO THE CITY OF AN HOUSTON, TEXAS
PLANNED COMMUNITY AND TO THE MEMBERS OF THE HOUSTON DEVELOP-
MENT BOARD FOR THEIR WARRANTIES GRANTED BY THE PLANNING
COMMISSION OF THE CITY.

W. L. H. H. H.
MAYOR OF HOUSTON, TEXAS

SIGNED AND SUBSCRIBED BEFORE ME THIS 10th DAY
OF 1934 1935

STATE OF TEXAS
COUNTY OF SIOUX

THE CORNER OF LAND SHOWN ON THIS PLAN, IN PERSON OR THROUGH
A TRUST AUTHORIZED AGENT, DEVOTED TO THE USE OF THE PUBLIC
FORWARD AS HIGHWAYS, ALLEYS, PARKS, RECREATION, BARRIERS, ESTATES
AND PUBLIC PLACES THEREIN SHOWN FOR THE PURPOSE AND CONSEQUENTLY
THEREIN EXPRESSED.

ADJUTANT GENERAL'S SCHOOL, DISTRICT
STATE OF TEXAS
John A. Eloff
BUTLY AUTHORIZED SIGNATURE
STATE OF TEXAS
COUNTY OF BROWN
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSON
APPEARED John A. Eloff, a Major in the United States Army, who
WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, A
ADDRESSED TO ME, and who is the same as the same as the
AND CORRESPONDING MATTER DOCUMENTED AND IS THE CAPTIONED
OF John A. Eloff AND HIS OFFICE THIS 11
DAY OF April 1965.
James H. Nally
NOTARY PUBLIC IN AND FOR
BROWN COUNTY, TEXAS



RES
-70, R.P.R.)

SUBDIVISION PLAT
OF
WOODLAKE HILLS
MIDDLE SCHOOL

BORG 45.742 ACRES OUT OF A 205.902 ACRE TRACT
OF LAND OUT OF N.E.B. 17730, CITY OF SAN ANTONIO,
BEXAR COUNTY, TEXAS.

[illegible]

ANY CYS MONITORING LOSS RESULTING FROM MODIFICATIONS REQUIRED ON CYS EQUIPMENT, LOCATED WITHIN SAS CAMPUS, DUE TO SPACE CHANGES OR GROUND ELEVATION. SUBMITTERS SHALL BE CHARGED TO THE PROGRAM OR PERSON DEEMED RESPONSIBLE FOR SAS SPACE CHANGES OR GROUND ELEVATION ALTERATION.

THIS PLAN OF WINDMILLS WATER IMPROVEMENT HAS BEEN SUBMITTED
TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF
SAN ANTONIO, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATE: MAR 10 DAY OF MAR 1965

D. H. [illegible]



F.M. HIGHWAY 78
(R.O.W. VARIES - 242' MIN.)

SSLAY
COMMERCIAL CO., INC.
202 CONCORD
SHELTON, CT 06484
(203) 324-4388

199 SHEET 2 OF 3



F.M

STATE OF TEXAS
COUNTY OF BEXAR

I Gerry Rickhoff COUNTY CLERK, OF SAID COUNTY, DO HEREBY
CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE 19th
DAY OF MAY A.D. 1995 AT 2:07 P.M. AND
DULY RECORDED THE 22ND DAY OF MAY
A.D. 1995 AT 2:30 P.M. IN THE RECORDS OF Deed-Plat
SAID COUNTY, IN BOOK VOLUME 9531 ON PAGE 198 IN
TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE THIS 22ND
DAY OF MAY A.D. 1995

COUNTY CLERK, BEXAR COUNTY, TEXAS

By: Wah Sid DEPUTY

